



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Architectural Review Board

FROM: Laurel O'Halloran, Associate Planner

MEETING DATE: December 13, 2016

SUBJECT: Architectural Permit, Historic Preservation Permit and Tree Permit with Development AP, HPP and TPD 16-988
To allow the addition of 308 square feet to an existing 774 sf single-family residence, to also allow the addition of a 271 square foot detached garage for a total residence of 1,353 square feet. The Historic Preservation Permit would allow relief from the side yard setback requirements for the addition to the historic residence. The Tree Permit with Development would allow the removal of two Black Acacia trees as part of the proposed addition.

ADDRESS: 472 Junipero Avenue (APN 006-485-008)

**ZONING/
LAND USE:** R-1/ Medium Density 17.4 DU/ac

APPLICANT: Douglas Roberts AIA, JWH Architects Inc. on behalf of Gary and Yuko Huber, Owner

CEQA: Categorical Exemption, Section 15301(e)(1)

RECOMMENDATION

Receive report, hold public hearing, and approve AP, HPP and TPD 16-988 based on the findings and subject to the staff-recommended conditions.

BACKGROUND

On November 16, 2016 Douglas Roberts applied for an Architectural Permit, Historic Preservation Permit and Tree Permit with Development AP, HPP and TPD 16-988 To allow the addition of 308 square feet to an existing 774 sf single-family residence, to also allow the addition of a 271 square foot detached garage for a total residence of 1,353 square feet. The Historic Preservation Permit would allow relief from the side yard setback requirements for the addition to the historic residence. The Tree Permit with Development would allow the removal of two Black Acacia trees as part of the proposed addition.

DISCUSSION

The subject residence is a Vernacular Queen Anne-style single family residence constructed circa-1907 and has received various alterations since its original construction. The subject residence is currently on the City of Pacific Grove's Historic Resources Inventory(HRI) and is considered to be locally significant. The subject property encompasses the 3rd addition to the Pacific Grove retreat grounds. The features are noted on the documents referenced; copies are attached to the agenda report.

The following General Plan, Historic and Archaeological Resources, Chapter 7, goals, policies, and programs are applicable to the Architectural Permit application.

Program M Ensure that development in the Retreat, and in other historic areas, is consistent with maintaining their traditional scale and character.

The property is located in an Area of Special Biological Significance

Zoning Code

The proposed project is in conformance with all requirements of the R-1 zone, including but not limited to setbacks except for the legal non-conforming existing side yard setback, height limits, and site coverage.

The proposed project will have a building coverage of 38%, which is within the allowable maximum building coverage of 45%, pursuant to P.G.M.C. 23.16.040. The proposed project will have a site coverage of 51.75%, which is within the allowable maximum site coverage of 60%. The proposed project will have a gross floor area 1,353 square feet, which is within the allowable maximum gross floor area of 1,980 square feet.

S.23.76.060 allows relief from zoning standards for properties on the Historic Resources Inventory to permit the restoration or improvements to a structure on the HRI. R-1 side yard setback requirements are 20% of the lot width for a corner lot on the side abutting a street. In this case the side yard abutting the street has a setback of 12'. The existing legal non-conforming setback for the side yard is 3'6". The proposed addition will continue this non-conforming setback for 12'7" along the existing 3'6" setback.

The proposed addition has a building height of 20' which is well under the allowable 25'

Trees and Landscaping:

An arborist report is attached for the removal of two Black Acacia trees. The trees have been determined to be in poor condition are good candidates for removal rather than retention. The City Arborist has approved the removal of the two Black Acacia trees with the condition that the trees will be replaced with two appropriate native trees from the city tree-replanting list.

Architectural Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

Guideline #4: The location and size of the garage should not dominate the street view of the structure

The proposed addition of the 271 sq. ft. garage outbuilding east of the existing historic residence does not dominate the street view of the historic structure and could be removed from the site, which would effectively return the historic residence to its present condition.

Guideline #24 A new structure should appear similar in scale to those seen as traditional in the neighborhood.

The proposed addition uses less than the allowed maximum lot coverage and incorporates a variable footprint within the required setbacks which creates a more interesting structure.

Architectural Review Guidelines for Historic Buildings:

Guideline 2: Effects of additions on historic scale and character:

By placing the addition on the side and in the rear the new work does not result in a radical change to the form and character of the historic building. The proposed addition preserves the overall character of the historic structure.

Guideline #3: Preservation of character-defining features.

The proposed addition preserves distinctive features that serve to define the structure as historic.

Historic Review:

A Phase II Historic Review was completed by qualified historian Seth A. Bergstein of Past Consultants on November 15, 2016. The assessment found that the proposed design alterations to the historic residence meet the Secretary of the *Interior's Standards for Rehabilitation*. The proposed changes do not impact the remaining character-defining features or overall historic integrity of the building. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource.

Environmental Determination:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e) (1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Phase II Historic Report
- E. Arborist Report
- F. CEQA Documentation
- G. Project Plans

RESPECTFULLY SUBMITTED:

Laurel O'Halloran

Laurel O'Halloran, Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP Item 6a 38
 Date: 11-16-17
 Total Fees: \$4,635.60
 Received by: _____

APPLICANT/OWNER:

Project Address: 472 Junipero Ave APN: 006-485-008

Project Description: Addition to residence, new garage

Applicant

Name: Douglas Roberts AIA, JHW Architects Inc

Phone: 831-649-1701

Email: doug@jhwarch.com

Mailing Address: 2400 Garden Rd, Ste C
Monterey, CA 93940

Owner

Name: Gary & Yuko Huber

Phone: 831-884-3249

Email: shiba391@mac.com

Mailing Address: 472 Junipero Ave
Pacific Grove, CA 93950

PLANNING STAFF USE ONLY:

Permit Request:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> AVAR: Administrative VAR |
| <input checked="" type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP-A: UP Amendment | <input checked="" type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> VAR-A: VAR Amendment |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP-A: AUP Amendment | <input type="checkbox"/> A: Appeal | <input type="checkbox"/> AVAR-A: AVAR Amendment |
| <input type="checkbox"/> ADC: Admin Design Change | <input type="checkbox"/> SU: Second Unit | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> PUU: Undocumented Unit | <input type="checkbox"/> Stormwater Permit |
| <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> LM: Lot Merger | <input type="checkbox"/> VAR: Variance | <input type="checkbox"/> Other: |

CEQA Determination:

- Exempt
 Initial Study & Mitigated Negative Declaration
 Environmental Impact Report

Review Authority:

- Staff HRC
 ZA PC
 SPRC CC
 ARB _____

Active Permits:

- Active Planning Permit
 Active Building Permit
 Active Code Violation
 Permit #: _____

Overlay Zones:

- Butterfly Zone
 Coastal Zone
 Area of Special Biological Significance (ASBS)
 Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: 17 + 19

Block: 123

Tract: PG Addition

ZC: R-1

GP: med den 17.4 du/ac

Lot Size: 3,631 sf

Historic Resources Inventory

Archaeologically Sensitive Area

Staff Use Only:

PAID
\$4,635.60
11-16-17

RECEIVED
 NOV 16 2016

CITY OF PACIFIC GROVE
 COMMUNITY DEV DEPT

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: _____

Date: 11-16-16

Owner Signature (Required): _____

Date: 11-16-16

PROJECT DATA SHEET

Project Address: 472 Junipero Ave Submittal Date: 16 Nov. 16Applicant(s): Douglas Roberts, JHW Architects, Inc Permit Type(s) & No(s): _____

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District		R-1	R-1	
Building Site Area		3600SF	3600SF	
Density (multi-family projects only)				
Building Coverage	45% 1980SF	774SF	1273SF	38%
Site Coverage	60% 2160SF		1863SF	51.75%
Gross Floor Area	1,900	774SF	1,353SF	= 1,353 SF
Square Footage not counted towards Gross Floor Area				+ 579
Impervious Surface Area Created and/or Replaced			646 SF	
Exterior Lateral Wall Length to be demolished in feet & % of total*	—	0	0 ft/0%	
Exterior Lateral Wall Length to be built		113'	50' House, 67' @ Garage	
Building Height	25'	19'	~19'	
Number of stories		1	1	
Front Setback	15'	5'-4"	no change	
<u>Interior</u> Side Setback (specify side)	6'	32'	6'	
<u>12th St</u> Side Setback (specify side)	12'	3'-6"	3'-6"	HPP - continue non-conforming setback
Rear Setback	10'	22' 7"	10'	
Garage Door Setback	20'	N/A	20'	
Covered Parking Spaces	1	0	1	
Uncovered Parking Spaces	1	0	1	
Parking Space Size (Interior measurement)	9' x 20'	0	9' x 19' Can extend garage to 20'	
Number of Driveways	1	0	1	
Driveway Width(s)		0	13'-9"	
Back-up Distance		N/A		
Eave Projection (Into Setback)	3' maximum	10"	10"	
Distances Between Eaves & Property Lines	3' minimum	—	5'-2"	
Open Porch/Deck Projections		✓	✓	Add to Deck.
Architectural Feature Projections				
Number & Category of Accessory Buildings		0	(1) Garage	
Accessory Building Setbacks		—	6' / 20'	
Distance between Buildings		—	12'-5"	
Accessory Building Heights	15' max	—	12'	
Fence Heights	6' max		Varies	no change proposed

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

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ARCHITECTURAL PERMIT, HISTORIC PRESERVATION PERMIT AND TREE PERMIT WITH DEVELOPMENT AP, HPP AND TPD 16-988

FOR A PROPERTY LOCATED AT 472 JUNIPERO AVENUE, PACIFIC GROVE TO ALLOW THE ADDITION OF 308 SQUARE FEET TO AN EXISTING 774 SF SINGLE-FAMILY RESIDENCE, TO ALSO ALLOW THE ADDITION OF A 271 SQUARE FOOT DETACHED GARAGE FOR A TOTAL RESIDENCE OF 1,353 SQUARE FEET. THE HISTORIC PRESERVATION PERMIT WOULD ALLOW RELIEF FROM THE SIDEYARD SETBACK REQUIREMENTS FOR THE ADDITION TO THE HISTORIC RESIDENCE. THE TREE PERMIT WITH DEVELOPMENT WOULD ALLOW THE REMOVAL OF TWO BLACK ACACIA TREES AS PART OF THE PROPOSED ADDITION.

FACTS

1. The subject site is located at 472 Junipero Avenue, Pacific Grove, 93950 APN 006-485-008
2. The subject site has a designation of Medium Density Residency 17.4 DU/AC on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject site is 3,600 square feet.
5. The subject site is developed with a single family dwelling which is on the City's Historic Resources Inventory.
6. The subject site has a legal non-conforming side yard setback.
7. A Phase 2 Historic Report by Seth Bergstein dated November 15, 2016 was prepared.
8. An arborist report was prepared by Frank Ono dated September 2, 2016
9. This project has been determined to be CEQA Exempt under CEQA Guidelines 15331.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks, with the exception of the front and side yard, which are legal non-conforming, height requirements, and parking requirement, and;
2. S.23.76.060 allows relief from zoning standards for properties on the Historic Resources Inventory to permit the restoration or improvements to a structure on the HRI. R-1 side yard setback requirements are 20% of the lot width for a corner lot on the side abutting a street. In this case the side yard abutting the street has a setback of 12'. The existing legal non-conforming setback for the side yard is 3'6". The proposed addition will continue this non-conforming setback for 12'7" along the existing 3'6" setback.
3. The November 15, 2016 Phase 2 Historic Report by Seth Bergstein concluded the proposed project is in conformance with the Secretary of the Interior Standards.
4. The architecture and general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 4,28,38;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

ARCHITECTURAL PERMIT, HISTORIC PRESERVATION PERMIT AND TREE PERMIT WITH DEVELOPMENT AP, HPP AND TPD 16-988 for a property located at 472 Junipero Avenue, Pacific Grove to allow:

- 1) the addition of 308 square feet to an existing 774 sf single-family residence, to also allow the addition of a 271 square foot detached garage for a total residence of 1,353 square feet.

Historic Preservation Permit to allow:

- 1) Relief from side setback requirements.

Tree Permit with Development to allow:

- 1) Removal of Tree #591 one Black Acacia(Acacia melanoxylon) 10” in diameter base height
- 2) Removal of Tree #592 one Black Acacia 19” in diameter base height

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approve plans for “Huber residence” dated November 15, 2016, on file with the Community and Economic Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Tree Replacement.** A replacement of two trees is required.
8. **Street Trees.** One tree must be planted per 30 feet of frontage, with a minimum of two trees.
9. **Curbs and sidewalks.** Install curbs and sidewalks along all public street frontages.
10. **Historic.** Any historic elements removed from the historic dwelling, including but not limited to windows, and doors, must either be reused on-site or stored for future use, to the greatest extent practicable.

- 11. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
- 12. **Lighting:** All exterior lighting must conform to Architectural Review Guidelines Nos. 10,11,12.
- 13. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.
- 14. **Story Poles and Netting:** Following the 10 day appeal period all story poles and netting are required to be removed.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

- 1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
- 2. The Board authorizes Approval of AP, HPP and TPD 16-988.
- 3. This permit shall become effective upon the expiration of the 10-day appeal period.
- 4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 13th day of December, 2016 by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Gary Huber, Owner

Date



CITY OF PACIFIC GROVE
Community Development Department – Planning Division
 300 Forest Avenue, Pacific Grove, CA 93950
 T: 831.648.3190 • F: 831.648.3184 • www.ci.pg.ca.us/cdd
NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 472 Junipero, Pacific Grove, CA 93950

Project Description: AP, HPP, TPD 160988

TO ALLOW THE ADDITION OF 308 SQUARE FEET TO AN EXISTING 774 SF SINGLE-FAMILY RESIDENCE, TO ALSO ALLOW THE ADDITION OF A 271 SQUARE FOOT DETACHED GARAGE FOR A TOTAL RESIDNCE OF 1,353 SQUARE FEET. THE HISTORIC Description: PRESERVATION PERMIT WOULD ALLOW RELIEF FROM THE SIDEYARD SETBACK REQUIREMENTS FOR THE ADDITION TO THE HISTORIC RESIDENCE. THE TREE PERMIT WITH DEVELOPMENT WOULD ALLOW THE REMOVAL OF TWO TREES AS PART OF THE PROPOSED ADDITION.

APN: 006485008000

ZC: R-1

Lot Size: 3,631 SF

Applicant Name:	Douglas Roberts, AIA, JHW Architects	Phone #:
Mailing Address:	2400 Garden road Stc C, Monterey Ca	
Email Address:		

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
 Type and Section Number: 1531
- Statutory Exemption
 Type and Section Number:
- Other:

Exemption Findings:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. The proposed alterations do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Contact: Laurel OHalloran, Planning Department, City of Pacific Grove

Contact Phone: (831) 648-3183

Signature: Laurel O'Halloran

Date: 12-5-16

P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

November 15, 2016

Gary and Yuko Huber
472 Junipero Ave.
Pacific Grove, CA 93950

Re: Phase Two Historic Assessment for 472 Junipero Ave., Pacific Grove, CA
APN. 006-485-008-000

Dear Gary and Yuko:

This letter evaluates the proposed alterations to 472 Junipero Avenue, in Pacific Grove, CA. PAST Consultants, LLC (PAST) completed a site visit to the property on October 3, 2016 to view the property's existing conditions. The subject residence is a Vernacular Queen Anne-style single-family residence constructed circa-1907 and has received various alterations since its original construction.

The subject residence is presently on the City of Pacific Grove's Historic Resources Inventory (HRI) and is considered to be locally significant. The subject property encompasses Lots 17 and 19, Block 123, of the 3rd addition to the Pacific Grove retreat grounds. Pacific Grove Heritage archives were contacted to gather existing research on the building. Their records, including Sanborn maps from 1905, 1914 and 1926, were reviewed showing that the present building was constructed circa-1907.

The following Phase Two Historic Assessment provides a description and summary history of the property; a chronology of the changes made to all buildings on the subject property; a list of the property's remaining character-defining features; a list of proposed alterations; and an evaluation of the proposed alterations to the property's historic building for conformance with the *Secretary of the Interior's Standards for Rehabilitation*.

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different

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set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

472 Junipero Ave.: Summary of Property History

A copy of the Sanborn map from 1926, courtesy of Pacific Grove Heritage, appears below.

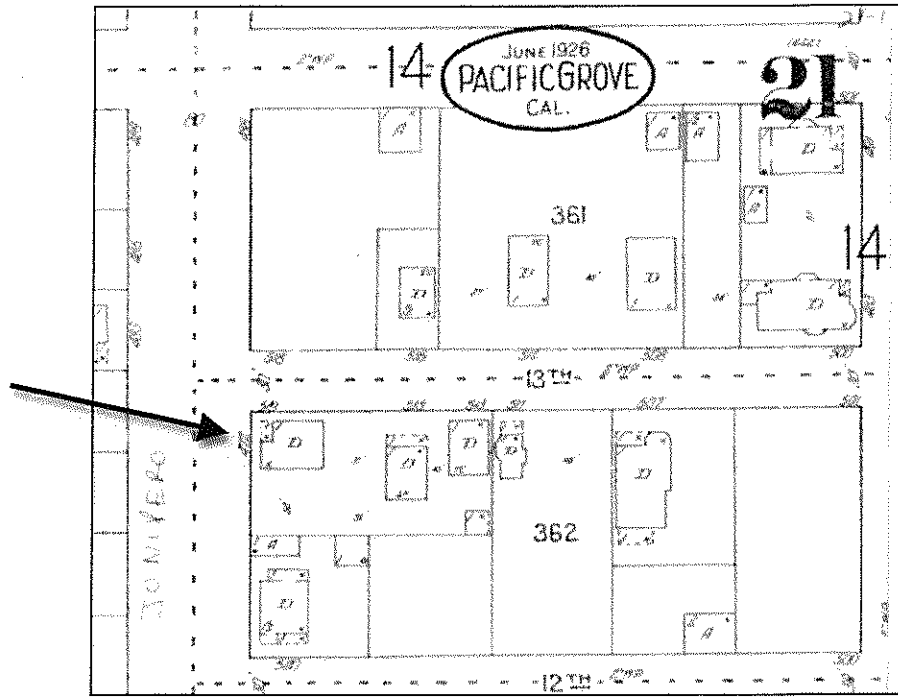
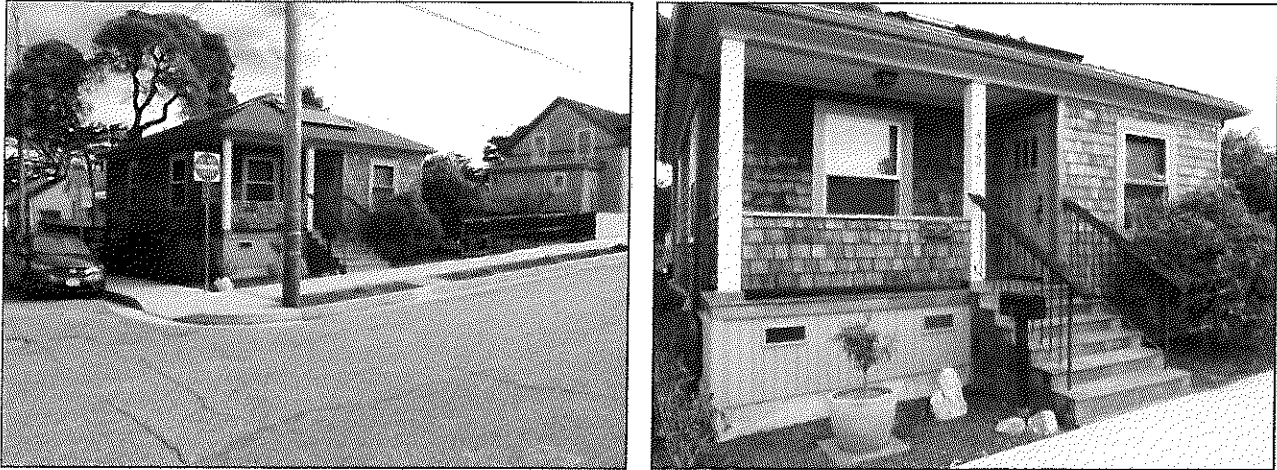


Figure 1. 1926 Sanborn map with circa-1907 residence shown with an arrow. The other buildings to the rear of the site are not extant.

The original permit for the residence's construction has not been located, but previous research indicates that Miss Sarah Burke, a dressmaker, was the original owner of the circa-1907 residence until 1926 (*Pacific Grove Heritage Archives*). A previous Phase Two Historic Assessment was prepared for the circa-2010 alterations by certified architectural historian Kent L. Seavey on December 13, 2010. This report noted that the French doors on the northeast elevation were present in 2010 and moved slightly to the north, indicating that the installation of the first set of French doors was a previous alteration that is undated. The previous Seavey report also notes the presence of a Dutch door on the north end of the northeast elevation, which was replaced by a window in the circa-2010 remodeling.

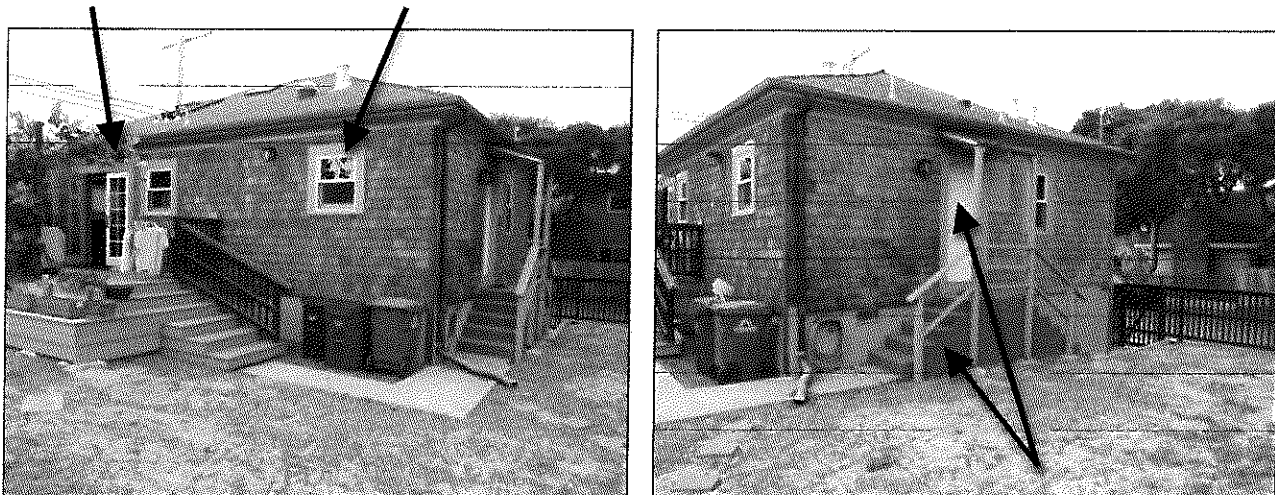
472 Junipero Ave.: Existing Site Conditions

The subject single-family residence was constructed circa-1907 as a Vernacular Queen Anne-style residence. It has a hipped roof with prominent eave boards and no exposed rafter tails; one-over-one, single-hung wood and replacement sash windows; a corner porch on square columns, and wood shingles as exterior wall cladding (**Figures 2 and 3**).



Figures 2 and 3. Two images of the residence's front (southeast) elevation. Left image looks northeast from Junipero Ave. and 13th Street, showing the Vernacular Queen Anne cottage. Right image details the southeast elevation, showing the replaced windows and front door, newer wood shingles and porch railing and T1-11 foundation skirt.

Alterations to the right side (northeast) elevation include the installation of French doors leading to a wood deck and the conversion of a door to a window (**Figure 4**). The rear elevation received an entrance door, small shed roof on square columns and concrete access stairs at an unknown date, estimated as circa-1950s, based on the construction materials of the addition (**Figure 5**).



Figures 4 and 5. Left image shows the right side (northeast) elevation with French doors and door-to-window conversion (arrows). Right image shows the rear elevation with circa-1950s porch and entrance (arrows).

Remaining Character-defining Features of 472 Junipero Ave.

- Hipped-roof massing with boxed eaves.
- Front corner porch on square columns.
- Wood window surrounds.
- Cedar-shingle exterior wall cladding.

Previous Alterations to 472 Junipero Ave.

Based on a records search of files at the Pacific Grove Community Department and Pacific Grove Heritage, the following list summarizes permits for exterior modifications. Estimated dates are based on the material conditions found on the building during the site visit.

- No Permit: Install rear entry, concrete stairs and shed roof overhang to rear elevation (circa-1950s based on construction materials).
- Permit #01986, 1977: Interior Remodel.
- Permit #89-0395, 1989: Install new windows; install skylights; remove and replace roofing material; general carpentry (possible installation of first pair of French Doors mentioned in the 2010 Phase Two Historic Assessment by Kent Seavey).
- Permit #GB-0079, 2011: Replace existing deck on northeast elevation; move existing French doors on northeast elevation several feet to the north; convert Dutch door to window on northeast elevation at north corner; add T1-11 siding as foundation skirt; remove and replace front entrance door; install new shingles; and install solar panel to front elevation roof.

Summary of Proposed Alterations

Design drawings by JHW Architects, Inc. and dated November 10, 2016 were the design drawings evaluated for this Phase Two Historic Assessment. The proposed alterations are:

- Construct 301 sq. ft. rear addition. Remove existing, non-historic rear entry, rear stairs and small shed roof to accommodate new rear addition.
- Construct rear deck attached to proposed rear addition.
- Construct new, 271 sq. ft. garage outbuilding east of the existing historic residence.
- Reconfigure stairs leading to existing, non-historic deck on the northeast elevation.
- Retain existing historic character-defining features of the circa-1907 historic residence.

Evaluation of Proposed Alterations

The following lists the ten *Standards* for rehabilitation, with an evaluation for the proposed new garage roof only, given below each *Standard*.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed alterations will allow the building to continue its residential use, while retaining the existing character-defining features and satisfying this *Standard*.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed rehabilitation design only effects the rear elevation of the circa-1907 historic residence, which is a secondary elevation. The remaining character-defining features of the residence will remain, satisfying this *Standard*.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed alterations do not add conjectural features or elements from other historic properties that would confuse the remaining character-defining features of the subject property.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The proposed alterations do not impact any changes to the building that may have acquired historic significance.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

With the exception of the rear building wall, which has been previously altered by the installation of a rear entrance, entrance stairs and shed roof, the proposed rehabilitation design does not alter any distinctive materials, or historic construction detailing of the subject residence, satisfying this *Standard*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The proposed alterations will maintain the residence's existing character-defining features. Deteriorated wood features will be repaired, rather than replaced, satisfying this *Standard*.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

This *Standard* does not apply, as chemical and physical treatments to historic fabric are not proposed.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This *Standard* does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed rear addition does not impact the remaining historic character-defining features of the circa-1907 residence. The addition will be differentiated from the historic building by using board-and-batten exterior siding material and is compatible with the scale, massing and roofline of the historic residence. The new garage outbuilding will match the hipped roof massing of the residence, but also use board-and-batten exterior siding to link the addition to the garage as a separate construction layer that is distinct from the original residence. These design details satisfy this *Standard*.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*


The proposed rear addition could be reversed if necessary. The proposed new garage could also be removed from the site, which would effectually return the historic residence to its present condition. In addition, the proposed rehabilitation design will retain and rehabilitate the remaining exterior character-defining features of the circa-1907 residence, allowing the property to maintain adequate historic integrity and satisfy this *Standard*.

Conclusion

In conclusion, the proposed design alterations to the historic single-family residence at 472 Junipero Ave., Pacific Grove meets the *Secretary of the Interior's Standards for Rehabilitation*. The proposed changes do not impact the remaining character-defining features or overall historic integrity of the building. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal

Cc: City of Pacific Grove, Community Development Department; Douglas Roberts, AIA, JHW Architects, Inc.



CITY OF PACIFIC GROVE

Community & Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3183 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application
for Tree Permit (TP)

*Tree Permit
w/ Development*

Post:	Item 6a
Pull:	_____
Replant:	_____
Tree Health:	_____
Arborist Report Required:	_____
App.#:	<i>TPD 16-0416</i>
Fee:	_____

Tree Inspection Liability Disclosure: The City shall not be responsible for any damage to property or persons caused by, or related to, trees located on private property. It is the owner's responsibility to maintain all trees on their property in a reasonable and safe manner, and any inspection performed by the City is a limited advisory assessment only. For a more thorough inspection, the owner should contact a certified arborist. All tree work within the City of Pacific Grove requires an application to be on file. A permit will be issued based on the City of Pacific Grove Tree Ordinance 12.20.040 Pruning and Removal of Protected trees.

Property Address: *472 Junipero Ave*

Owner: <i>Gary & Yuko Huber</i>	Applicant: <i>Douglas Roberts, AIA; JHW Architects, Inc</i>
Phone: <i>831-884-3249</i>	Phone: <i>831-649-1701</i>
E-mail: <i>shiba391@mac.com</i>	E-mail: <i>doug@jhwarch.com</i>

Tree #	Type/Species	Requested Action: (trim, remove)
<i>591</i>	<i>Acacia melanoxylon</i>	<i>Remove</i>
<i>592</i>	<i>"</i>	<i>Remove</i>

*Attach additional sheets if required for above listings. Trimming less than 25% of tree OR branches are less than 6" Dead Tree

Reason for Request (Please provide brief description, Details may follow in the report)
*Proposed house addition will cut into root zone.
 These trees are in declining health & the larger tree is in poor condition.*

Is there an active Planning/Building permit for this property? Yes No

- The following conditions must be met prior to any tree removal or trimming:
1. NO WORK IS PERMITTED until you have picked up and paid the application fee for an approved permit for tree work.
 2. A live tree request for removal requires an arborist report and tree hazard evaluation form completed by a Certified Arborist and submitted with this application.
 3. All tree work activity shall comply with the provisions of the PGMC Title 12, Trees and the Urban Forest.
 4. A site plan must accompany the application showing the location of the trees to be worked on and the location of replants.
 5. Substantial Pruning or Removal of any Protected Tree requires a permit except in an Emergency, in compliance with PGMC 12.20.040
 6. All trees to be removed must be marked with a bright ribbon around the trunk of the tree.
 7. After the permits have been received and processed, the City Arborist will do a site visit and post the permit at the job site for 10 working days.
 8. Any protected tree removed must be replaced with a 1:1 ratio of species approved by the City Arborist within 60 days of removal.
 9. Permits expire 60 days after its effective date. The City Arborist may grant up to one extension not to exceed 30 days.
- *This list is not comprehensive of all conditions that may be required for tree removal and trimming work.
 This particular tree permit is Exempt - CEQA Exemption Class 4s.15304 Minor Alterations to Land.

I request to pay in lieu fees (\$687/tree) in place of replanting _____ trees, in the amount of \$ _____.
 *Request will be approved or denied by the City Arborist

I have read and agree with the conditions of this application and hereby grant permission for City Personnel to inspect the trees on my property.

I, *GARY HUBER* (Owner Name) authorize *DOUGLAS ROBERTS* (Agent Name) to represent me in the application and processing of this permit.

Owner Signature: *[Signature]* Date: *11-16-16*



CITY OF PACIFIC GROVE

Community & Economic Development Department – Planning Division

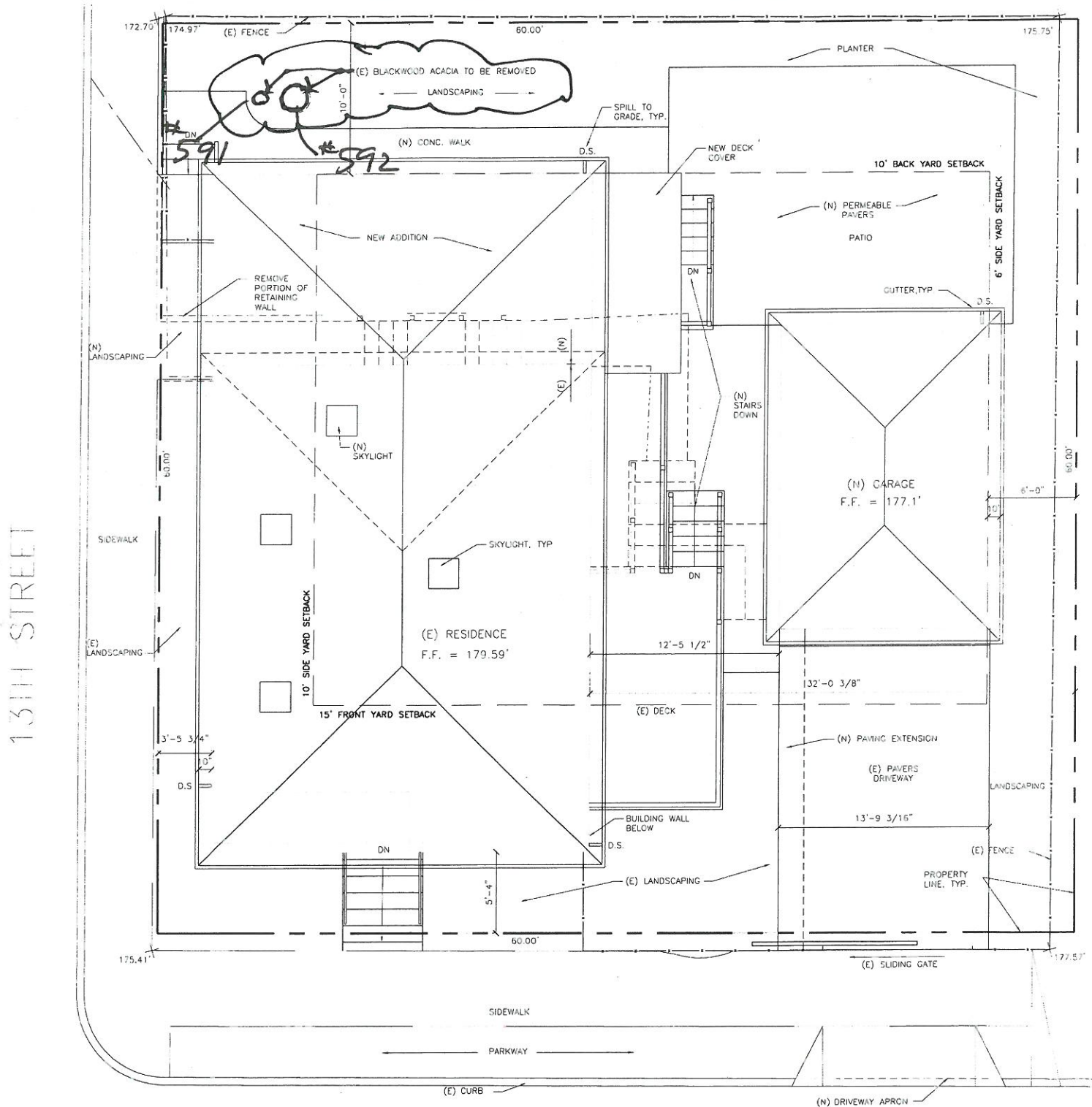
300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application for Tree Permit (TP)

Item 6a
App#: TPD16-0416

Please draw a Site Plan on this page indicating where the trees(s) is located on the property.



472 JUNIPERO AVE.

SEE ALSO FLOOR PLAN A-3 FOR MORE INFO.



EXISTING & NEW SITE & ROOF PLAN

Revised 8-6-14

Frank Ono
International Society of Arboriculture
Certified Arborist # 536
Society of American Foresters Professional Member 48004
1213 Miles Avenue
Pacific Grove CA, 93950
Telephone (831) 373-7086

September 2, 2016


Mr. and Mrs. Gary and Yoko Huber
472 Junipero Avenue
Pacific Grove, CA 93950

RE: 472 Junipero Avenue, Pacific Grove – Tree Assessment
APN: 006-485-008-000

Mr. and Mrs. Huber;

You requested an assessment of two trees located at 472 Junipero Avenue, Pacific Grove due to proposed Construction. The purpose for the assessment is to determine the condition of the trees and to see what effects proposed construction might have to the trees if retained. A visual tree assessment conducted on the trees adjacent to the proposed construction revealed the trees in poor to fair condition and that they are good candidates for removal rather than retention. The following report discusses my findings as well as recommendations for the property.

Sincerely,


Frank Ono
Certified Arborist #536

The following report is based on a visual inspection of tree condition and for obvious defects. It is not intended to constitute a complete health and hazard evaluation. Further investigation would be required to more definitively evaluate the health and hazards posed by the subject trees, some of which may not be disclosed by visual inspections. Investigations include but are not limited to core samples, root crown excavation, and visual inspection of the entire trees by climbing. Please be advised that healthy trees and/or limbs may fail under certain conditions, and that the above recommendations are based on industry standards of tree care. This report is made with the understanding that no representations or warranties, either expressed or implied are made that any trees referred to in the report or located on or adjacent to the subject property are sound or safe. Acceptance and use of this report constitutes the acknowledgement of the following stated facts and that the Client shall pay to Consultant consulting fees in accordance with the Fee Schedule attached hereto and made a part hereof as Exhibit A for the services actually performed and shown on such statement within thirty (30) days after receipt thereof.

Acacia Tree Assessment

472 Junipero Avenue

Pacific Grove, CA

Prepared by Frank Ono
1213 Miles Avenue
Pacific Grove CA, 93950
Telephone (831) 373-7086

ASSIGNMENT/SCOPE OF WORK

I was asked to assess trees located in the yard of a residence at 472 Junipero Avenue, Pacific Grove CA. I am to determine the health and condition of the trees due to proposed construction and to document my findings with recommendations for retention or removal.

LIMITATIONS OF THE ASSIGNMENT

The findings of this report are limited to a visual assessment of the trees. No further tests such as a complete root collar examination or climbing of the tree were made as part of the assessment diagnosis as these were neither requested nor considered necessary.

Disclosure Statement

It is important to note that Urban Foresters/Arborists are tree specialists who use their education, knowledge training and experience to examine trees, recommend measures to enhance their health and beauty and to attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist or to seek additional advice. Trees and other plant life are living, changing organisms affected by innumerable factors beyond our control. Trees fail in ways and because of conditions we do not fully understand. Urban Foresters/Arborists cannot detect or anticipate every condition or event that could possibly lead to the structural failure of a tree. Conditions are often hidden within the trees and below ground. Urban Foresters/Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, for any specific period or when a tree or its parts may fail. Further, remedial treatments, as with any treatment or therapy, cannot be guaranteed. Treatment, pruning, bracing and removal of trees may involve considerations beyond the scope of the arborists skills and usual services such as the boundaries of properties, property ownership, site lines, neighbor disputes and agreements and other issues. Therefore, urban forester/arborists cannot consider such issues unless complete and accurate information is disclosed in a timely fashion. Then, the urban forester/arborist can be expected, reasonably, to rely upon the completeness and accuracy of the information provided. Trees can be managed but not controlled. To live near trees, regardless of their condition, is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

Hazard/hazard potential: For the purposes of this evaluation and/report, a tree or tree part that presents a threat to humans, livestock, vehicles, structures, landscape features or other entity of civilization from uprooting, falling, breaking or growth development (e.g., roots). While all large landscape trees in proximity to such targets present some degree

of hazard regardless of their condition, such inherent hazard is not intended as within this definition and its usage in this evaluation and report.

Inspection limitations: The inspection of these trees consisted solely of a visual inspection from the ground. While more thorough techniques are available for inspection and evaluation, they were neither requested nor considered necessary or appropriate at this time.

As trees and other plant life are living, changing organisms affected by innumerable factors beyond our control, Frank Ono (dba F. O. Consulting) and its personnel offer no guarantees, stated or implied, as to tree, plant or general landscape safety, health, condition or improvement, beyond that specifically stated in writing in accepted contracts. This report is based on a visual inspection of tree condition and for obvious defects. It is not intended to constitute a complete health and hazard evaluation. Further investigation would be required to more definitively evaluate the health and hazards posed by the subject trees, some of which may not be disclosed by visual inspections. Investigations include but are not limited to core samples, root crown excavation, and visual inspection of the entire trees by climbing. Please be advised that healthy trees and/or limbs may fail under certain conditions, and that any recommendations given are based on industry standards of tree care.

BACKGROUND

The property owners are proposing to construct an addition to their existing home potentially encroaching into the root zones of two Black acacia trees. I have been requested to evaluate if the trees are in a condition that retention practical or if they may be removed. In addition, if the trees must be retained, then how close of a distance the proposed building may be placed near the trees.

OBSERVATIONS

The following are observations taken on site:

- There are two Black Acacia (*Acacia melanoxylon*) located in the subject area:
 - #591 is a 10" diameter tree in fair condition with approximately 25% a live crown ratio (LCR). The tree has a lean toward the west and stands approximately 30 feet in height with a 10-foot crown spread.
 - #592 is a 19" diameter tree in poor condition. It has a 25% LCR but has a thinning dying crown. The stem has columns of buttressed wood and visible seams where decay is suspected.
- The root zone areas of both trees are lifted and spongy, roots are lifted on the larger tree (#592). Overall tree health appearance is that of trees in low to poor vigor. Trees do not have any lower scaffold branching the crown on long extended stems. These types of trees are prone to failure due to the long lever arms and weak rooting.
- There has been previous tree removal. Remnants of stems (stumps) from previous tree removal are observed with decay in several of the stems.

SITE CONDITIONS

The site is developed and located in an urban-forested area. The Monterey County Natural Resource Conservation Service (NRCS) Soils Report classifies the soils in this area as 100 % Narlon series soils 2-9% slopes. The report states this is a gently sloping and moderately sloping soil on dissected marine terraces. It has the profile described as representative of the series. The clay subsoil is at a depth of 15 to 20 inches. Slopes are mostly 3 to 6 percent. Runoff is slow to medium, and temporary shallow ponds form in swales in wet winters. The erosion hazard is moderate. The seedling mortality is low, and the wind throw hazard severe.

DISCUSSION AND CONCLUSION

The trees are both Black Acacias (*Acacia melanoxylon*) which are known for their fast growth. It is a non-native (to California) tree introduced from elsewhere and naturalized in the wild. The California Invasive Plant Council (Cal-IPC) classifies it as an invasive plant with a limited potential impact on native ecosystems. It favors disturbed areas, often found near buildings and agricultural sites. Black acacia, introduced as a landscape ornamental, has escaped cultivation in some areas. Black acacia trees can develop root suckers that grow to become large clonal populations. Its use as a street tree is being phased out in some locales because of the damage it often causes to pavements and underground plumbing.

The trees are declining in health with tree #592 in poor condition with its stem decay and thinning crown. Due to their poor health and condition as well as their identity of being an invasive species, retention of these trees is not recommended. Disturbance of the roots will also aid in their destabilization, as they are tall spindly trees located in Narlon soils, known for high wind-throw failure rates.

RECOMMENDATIONS

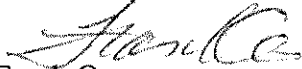
Tree Removal and Replacement

It is recommended the trees be removed and replaced with appropriate native plantings or trees from the approved city tree-replanting list. After proper authorization, the tree shall be cut down by a licensed insured professional tree service, cut down in smaller manageable pieces consistent with safe arboricultural work practices, and roped down carefully so as not to damage any surrounding trees. The use of specialized equipment can be authorized if it can be shown that no damage to surrounding ecosystem will be sustained. At no time shall the trees be dropped in one piece so as to damage any surrounding trees or property. It is permissible to grind the stump when the tree is removed. Tree wood and clippings are to be disposed of consistent with California Department of Forestry guidelines which would include stockpiling of material on site or disposal at an approved refuse site.

Tree Protection

It is not recommended the trees be retained rather that they be removed and replaced. If the trees are to remain for some unknown reason, trenching/excavation should not be any closer than three times the trunk diameter, which would be four feet from the base of the tree. Protection can include the use of protective barricades, plywood, or 2X4 material to protect the base of the tree and its critical root zone.

Sincerely,

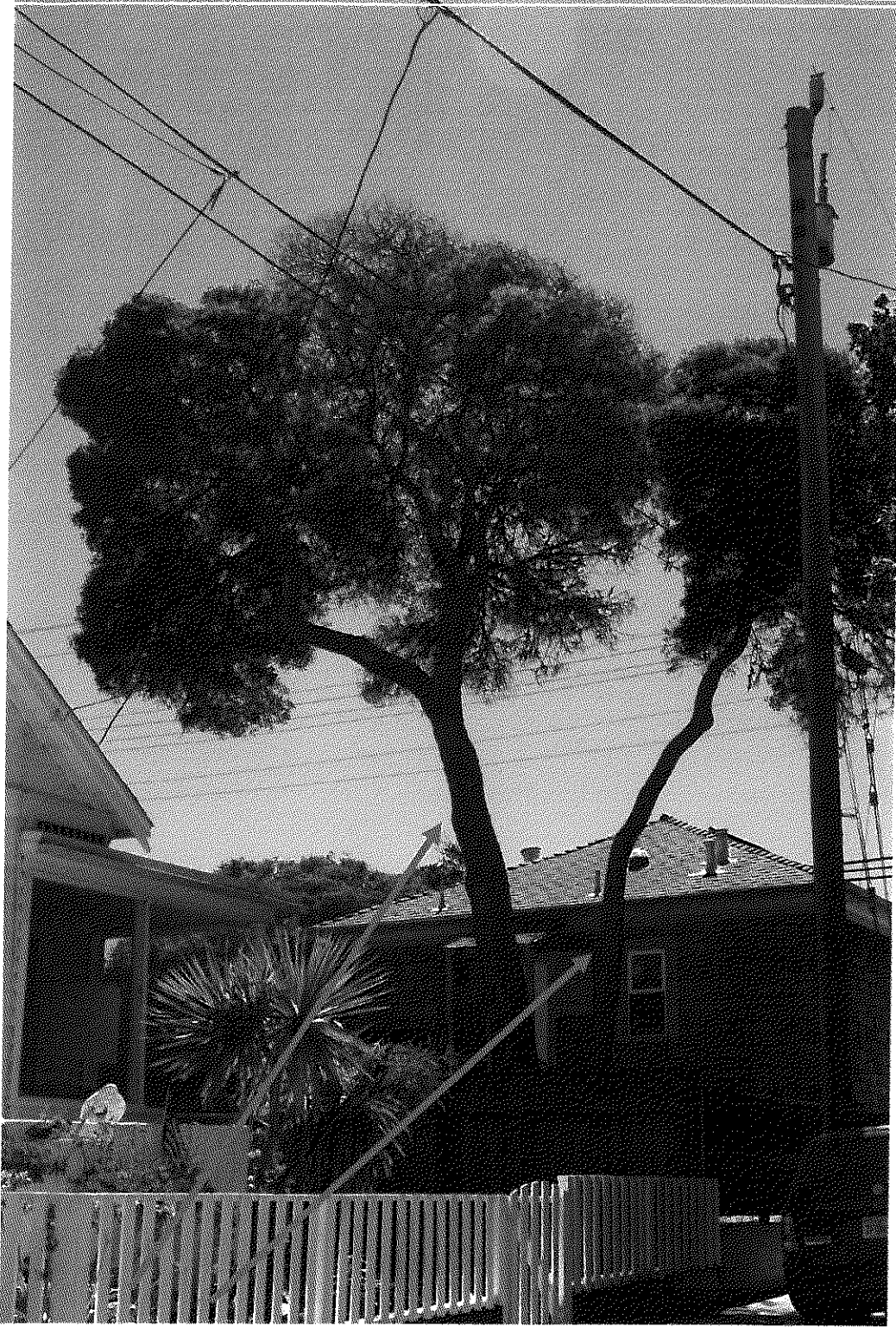


Frank Ono

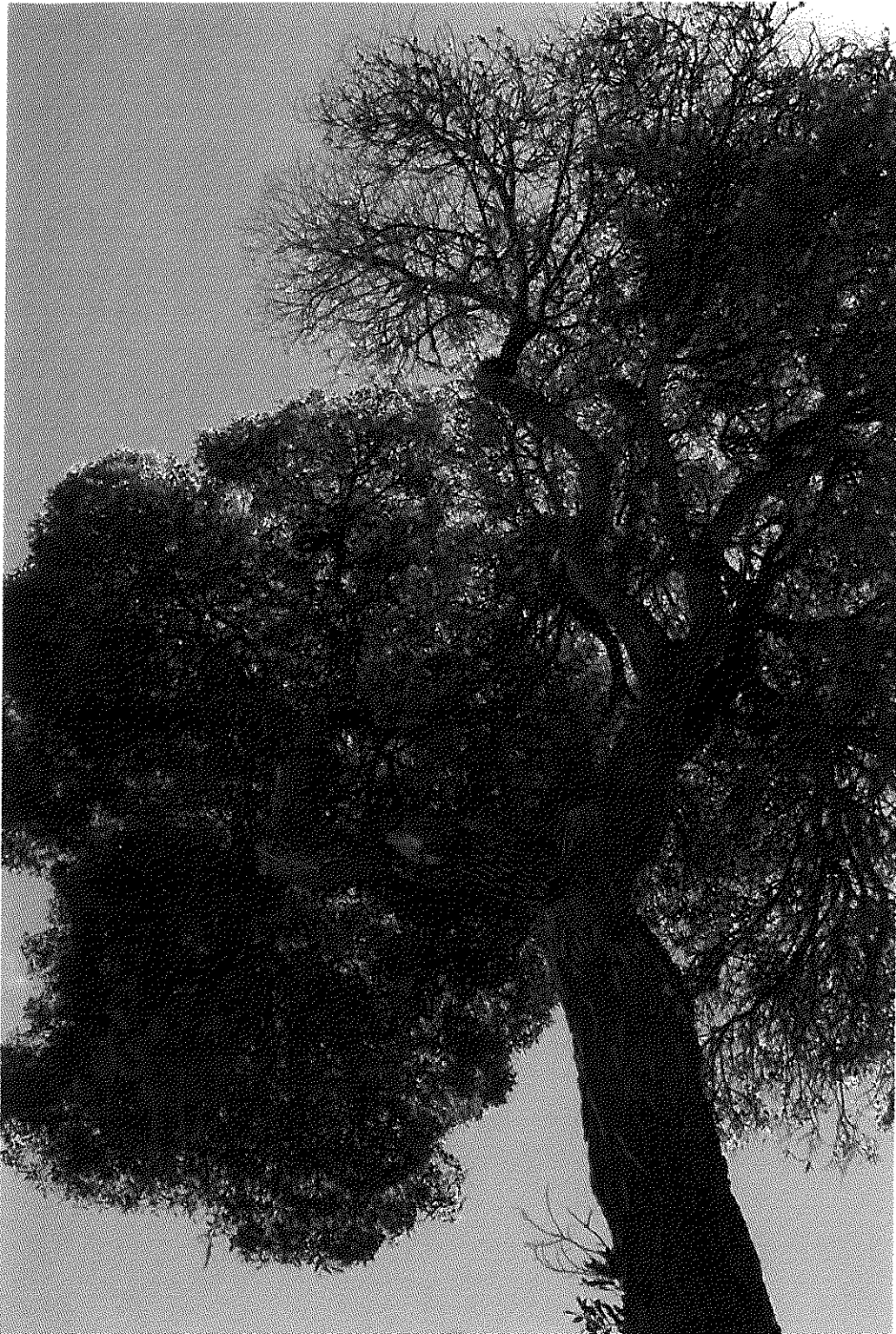
Certified Arborist #536

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PHOTOGRAPHS



Trees #592 and #591



Crown of #592 is thinning and dying out



Base of tree #592 and #591; #592 has decay in the stem within the seams observed

#591

#592

±4'-0"

NEW
ADDITION

(E) RETAINING
WALL

13TH STREET

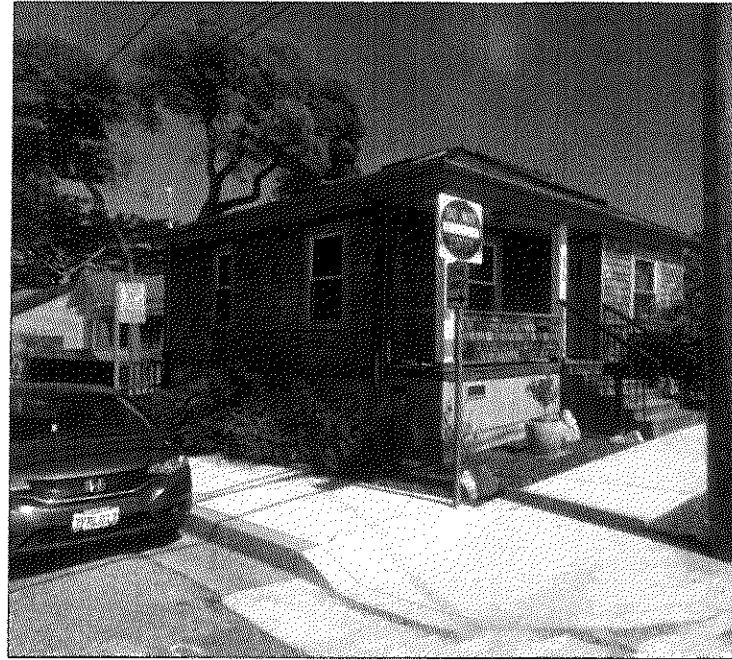
472 JUNIPERO AVE.

JHW
ARCHITECTS INC. ■

2400 GARDEN ROAD
SUITE C
MONTEREY, CA 93940
(831) 649-1701
FAX (831) 649-3072

REMODEL OF HUBER RESIDENCE

472 JUNIPERO AVE.
PACIFIC GROVE, CA 93950



DRAWING INDEX

- ARCHITECTURAL
- A-1 INDEX, LEGENDS AND NOTES
 - A-2 EXISTING & NEW SITE PLAN
 - A-3 NEW FLOOR PLAN
 - A-4 EXISTING & NEW ELEVATIONS
 - A-5 EXISTING & NEW ELEVATIONS

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www.jhwarch.com



PROJECT OWNER
**ADDITION TO
HUBER
RESIDENCE**
472 JUNIPERO AVE.
PACIFIC GROVE, CA

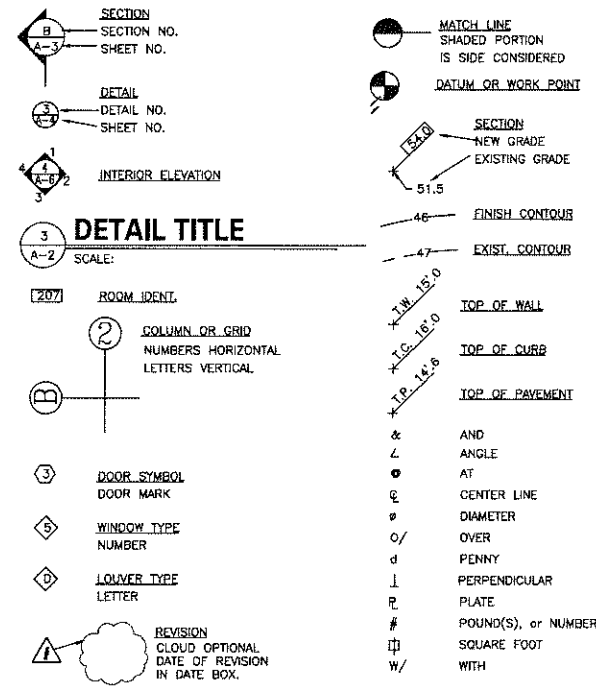
APN: 006-485-008

DRAWN BY: **eo**
PRINT DATE:
DRAWING DATE: 11-15-2016
DATE ISSUED FOR CONSTRUCTION:
REVISIONS:

ABBREVIATIONS

A.B.	ANCHOR BOLT	LAV.	LAVATORY
A.C.	ASPHALTIC CONCRETE	LB, LBS	POUND(S)
A.D.	AREA DRAIN	LT.	LIGHT
ADJ.	ADJUSTABLE	MAX.	MAXIMUM
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
ANOD.	ANODIZED	M.C.	MEDICINE CABINET
BD.	BOARD	MECH.	MECHANICAL
BLDG.	BUILDING	MEMB.	MEMBRANE
BLK.	BLOCK	MFR.	MANUFACTURER
BM.	BEAM	MIN.	MINIMUM
C.B.	CATCH BASIN	MISC.	MISCELLANEOUS
CEM.	CEMENT	(N)	NEW
C.I.	CAST IRON	N.I.C.	NOT IN CONTRACT
C.J.	CONSTRUCTION JOINT	NO.	NUMBER
CLG.	CEILING	N.T.S.	NOT TO SCALE
C.M.U.	CONCRETE MASONRY UNIT	OBS.	OBSCURE
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	OF/CI	OWNER FURNISHED, CONTRACTOR INSTALLED
CONN.	CONNECTION	OF/CI	OWNER FURNISHED, CONTRACTOR INSTALLED
CONT.	CONTINUOUS	OF/CI	OWNER INSTALLED
C.O.	CLEAN OUT	PL.	PLATE
DBL.	DOUBLE	P.LAM.	PLASTIC LAMINATE
D.F.	DRAINING FOUNTAIN	PLAST.	PLASTER
D.F.	DOUGLAS FIR	PWD.	PLYWOOD
DET.	DETAIL	PR.	PAIR
DIA.	DIAMETER	P.S.F.	POUNDS per SQUARE FOOT
DN.	DOWN	P.S.I.	POUNDS per SQUARE INCH
DR.	DOOR	P.T.	PRESSURE TREATED
DS.	DOWN SPOUT	P.V.C.	POLY VINYL CHLORIDE PLASTIC
DWG.	DRAWING	R.	RISER
(E)	EXISTING	R.D.	ROOF DRAIN
EA.	EACH	REF.	REFRIGERATOR
E.J.	EXPANSION JOINT	REINF.	REINFORCED
E.P.D.M.	SYNTHETIC RUBBER CLOSURE STRIP	RM.	ROOM
EQ.	EQUAL	R.O.	ROUGH OPENING
EXT.	EXTERIOR	RWD.	REDWOOD
F.A.	FIRE ALARM	S.B.	SOLID BLOCKING
F.D.	FLOOR DRAIN	S.C.	SOLID CORE
F.E.	FIRE EXTINGUISHER	S.F., SF	SQUARE FOOT (FEET)
EWC.	ELECTRIC WATER COOLER	SHT.	SHEET
F.E.C.	FIRE EXTINGUISHER CAB	SIM.	SIMILAR
FIN.	FINISH	S.M.	SHEET METAL
FLR.	FLOOR	S&P	SHELF AND POLE
FLASH	FLASHING	SPEC.	SPECIFICATION
FLUOR.	FLUORESCENT	SQ.	SQUARE
F.O.C.	FACE OF CONCRETE	S.S.	STAINLESS STEEL
F.O.M.	FACE OF MASONRY	T.	TREAD
F.O.S.	FACE OF STUD	T.B.	TOWEL BAR
F.R.P.	FIBER REINFORCED PLASTIC	T.B.N.	TYPICAL BOUNDARY NAILING
FT.	FOOT or FEET	T.C.	TOP OF CURB
FURR.	FURRING	T.E.N.	TYPICAL EDGE NAILING
GA.	GAUGE	T&G	TONGUE AND GROOVE
GALV.	GALVANIZED	T.S.	TUBE STEEL
G.I.	GALVANIZED IRON	T.V.	TELEVISION
G.B.	GRAB BAR	TYP.	TYPICAL
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
GYP.	GYPNUM	V.G.	VERTICAL GRAIN
GWB.	GYPNUM WALL BOARD	W/	WITH
H.B.	HOSE BIB	WD.	WOOD
H.C.	HOLLOW CORE	WH.	WATER HEATER
HDR.	HEADER	W/O	WITH OUT
H.M.	HOLLOW METAL	W.P.M.	WATERPROOF MEMBRANE
HORIZ.	HORIZONTAL	WT.	WEIGHT
HR.	HOUR	W.W.M	WELDED WIRE MESH
INSUL.	INSULATION	W.W.F.	WELDED WIRE FABRIC
INT.	INTERIOR		

SYMBOLS



MATERIALS

	EARTH		WOOD, FINISH
	ROCK		WOOD FRAMING
	SAND, MORTAR, PLASTER		WOOD BLOCKING
	CONCRETE BLOCK, BRICK		PLYWOOD
	CONCRETE		GYPNUM WALLBOARD
	(E) STUD WALL, ADD BATT INSUL.		RIGID INSULATION
	REMOVE EXISTING STUD WALL		ACOUSTIC TILE
	NEW STUD WALL W/ BATT INSUL.		A.C. PAVING
	STUD WALL 1 HR. CONSTRUCTION		METAL
	STUD WALL W/ BATT INSULATION		

PROJECT DATA

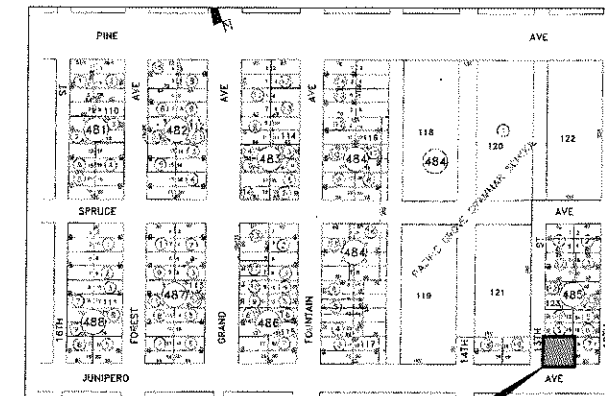
BUILDING CONSTRUCTION TYPE: V-B
LOT: PACIFIC GROVE ADD 3 LOT 17 & 19
BLK 123

OCCUPANCY: R-1, SINGLE FAMILY RESIDENCE

RESIDENCE FLOOR AREA, EXISTING: 744 SF
ADDITION AREA, NEW: 308 SF
SUB-TOTAL: 1,052 SF
GARAGE: 271 SF
TOTAL BUILDING AREA: 1,273 SF

SITE COVERAGE (SEE DWG A-2) 51.75% < 60% ALLOWABLE; OK

VICINITY MAP



SHEET TITLE:
**INDEX
LEGENDS
& NOTES**

SHEET NUMBER:
A-1

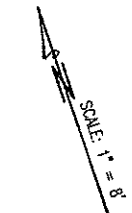
THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. NO USE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PERMITTED, WITHOUT THE WRITTEN CONSENT AND SIGNATURE OF THE ARCHITECT. ANY CONTRACTS WITH THESE CONDITIONS SHALL BE VOID. PLEASE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

NOTES:

1. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
2. DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
3. TREE TYPES ARE INDICATED WHEN KNOWN. DIAMETERS OF TREES ARE SHOWN IN INCHES.
4. ELEVATIONS SHOWN ARE BASED ON NGVD-29 DATUM. THE BENCHMARK IS A CITY OF PACIFIC GROVE "SQUARE ON CURB" AT NORTH WEST CORNER OF JUNIPERO AVENUE & 9TH STREET. ELEVATION=190.15'
5. +99.99 DENOTES GROUND ELEVATIONS AS SHOWN.

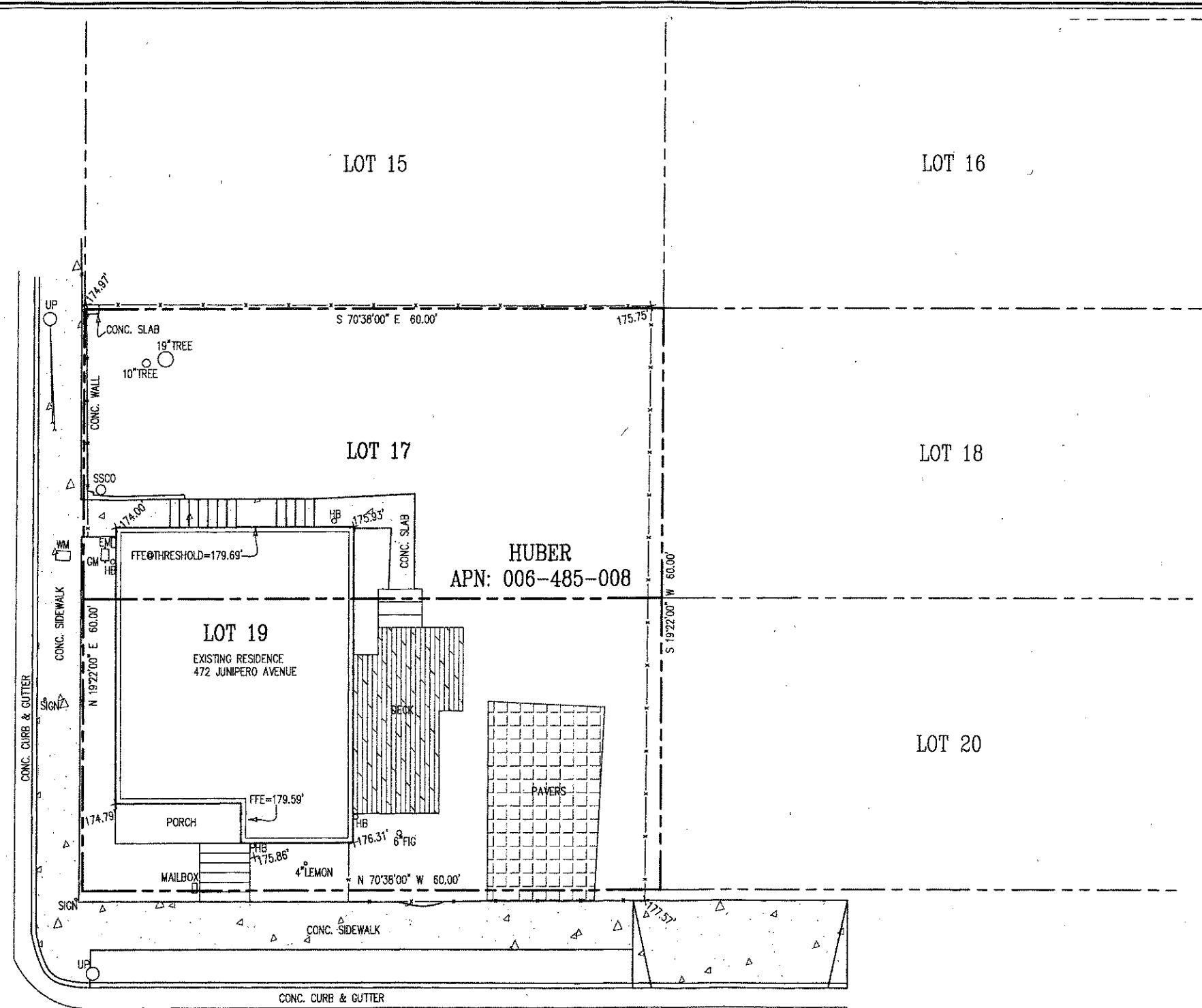
LEGEND:

- FENCE LINE
- CONC. CONCRETE
- EM ELECTRIC METER
- FFE FINISHED FLOOR ELEVATION
- GM GAS METER
- HB HOSE BIB
- SSCO SANITARY SEWER CLEAN OUT
- UP UTILITY POLE
- WM WATER METER



9/29/2016

13 TH STREET
(A 29.90' WIDE CITY STREET)



JUNIPERO AVENUE
(A 60' WIDE CITY STREET)

PLANIMETRIC SURVEY

OF
LOTS 17 & 19, BLOCK 123
PACIFIC GROVE RETREAT
VOLUME 1, CITIES & TOWNS, PAGE 10

CITY OF PACIFIC GROVE COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
GARY AND YUKO HUBER

BY
MONTEREY BAY ENGINEERS, INC.

CIVIL ENGINEERING • SUBDIVISIONS • LAND SURVEYING • CONSTRUCTION STAKING
607 Charles Ave Suite B Seaside, California 93855
Phone: (831) 899-7899

SCALE: 1" = 8' JOB No. 16-108 SEPTEMBER 2016

FIELD: AL & END DRAWN BY: AL



PROJECT OWNER
**ADDITION TO
HUBER
RESIDENCE**
472 JUNIPERO AVE.
PACIFIC GROVE, CA

APN: 006-485-008

DRAWN BY: ca

PRINT DATE:

DRAWING DATE: 11-15-2016

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

SHEET TITLE:

EXISTING & NEW SITE & ROOF PLAN

SHEET NUMBER:

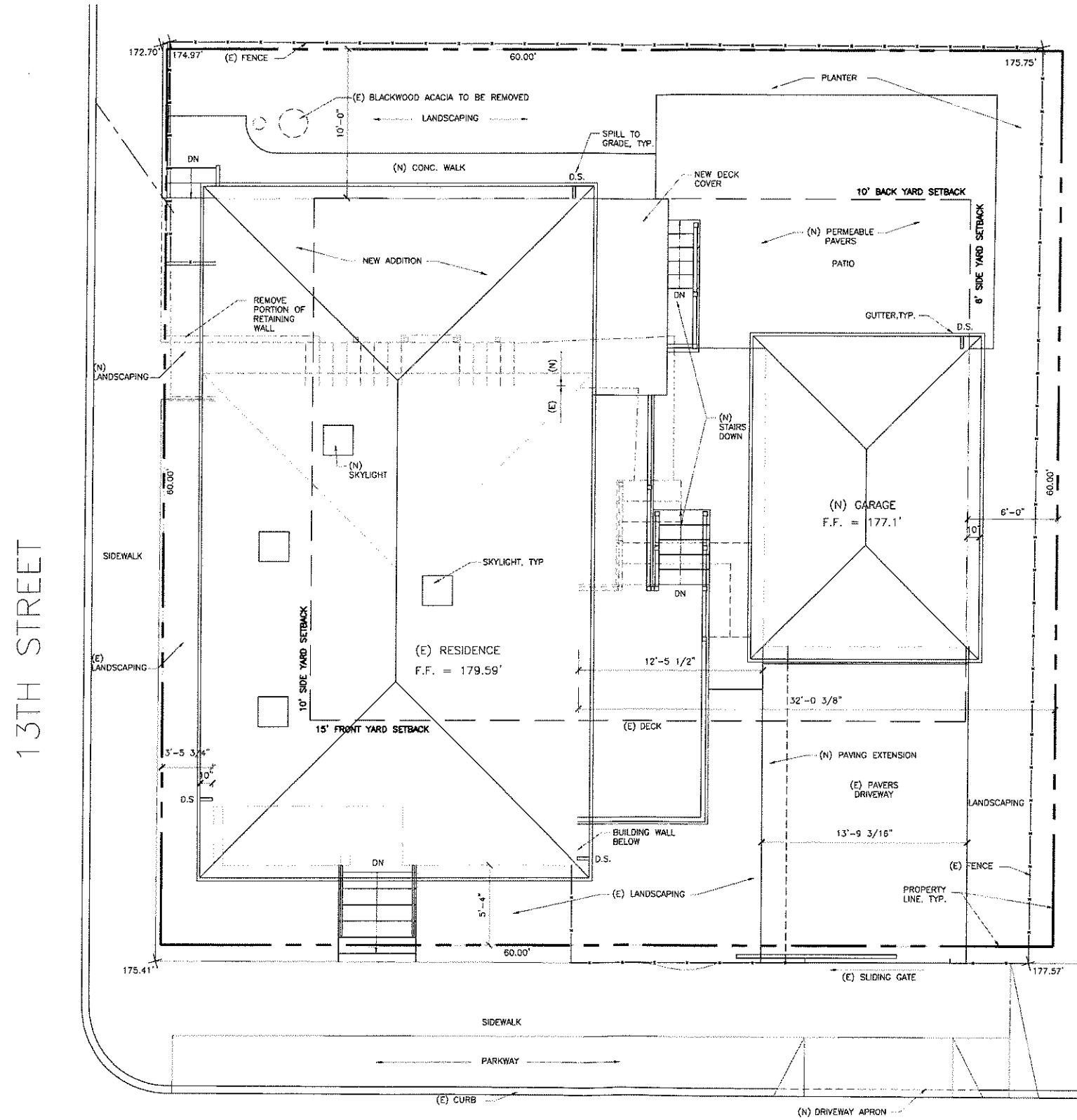
A-2

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PROJECT AREAS:

(E) RESIDENCE	=744 SF	
(N) ADDITION	=308 SF	
(N) RESIDENCE, TOTAL	=1,052 SF	
(N) GARAGE	=271 SF	
(N) RESIDENCE & GARAGE	=1,273 SF	<1980 SF MAX. BLDG AREA, OK.
(E) DECK	=195 SF	
(N) DECK	=147 SF	
TOTAL (N) & (E) DECK	=324 SF	(SOME (E) IS DEMOLISHED)
(E) SITE PAVING	=396 SF	
(N) SITE PAVING	=646.4 SF	
TOTAL SITE PAVING	=916.4 SF	(SOME (E) IS DEMOLISHED)

TOTAL SITE COVERAGE = 1,863 SF = 51.75% <60% MAX., OK.
SITE COVERAGE IS CALCULATED PER ZONING CODE 23.08.020 DEFINITION.



472 JUNIPERO AVE.

SEE ALSO FLOOR PLAN A-3 FOR MORE INFO.

EXISTING & NEW SITE & ROOF PLAN

SCALE: 1/4" = 1'-0"



JHW
ARCHITECTS INC.

2400 GARDEN ROAD
SUITE C
MONTEREY, CA 93940
(831) 649-1701
FAX (831) 649-3072
www.jhwarch.com



PROJECT OWNER
**ADDITION TO
HUBER
RESIDENCE**
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PACIFIC GROVE, CA

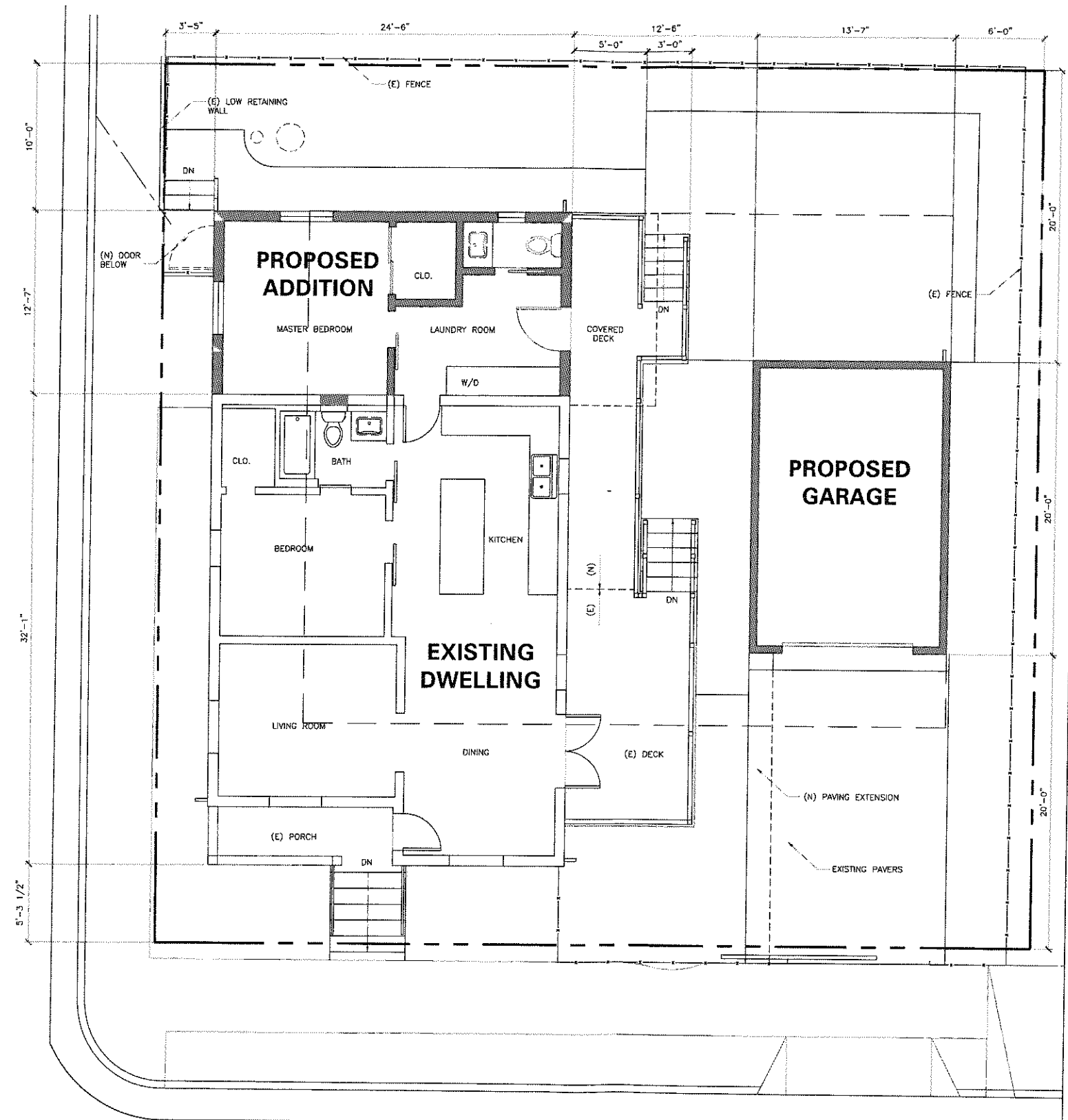
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DRAWING DATE: 11-15-2018
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SHEET TITLE:
**EXISTING &
NEW FLOOR
PLAN**

SHEET NUMBER:
A-3

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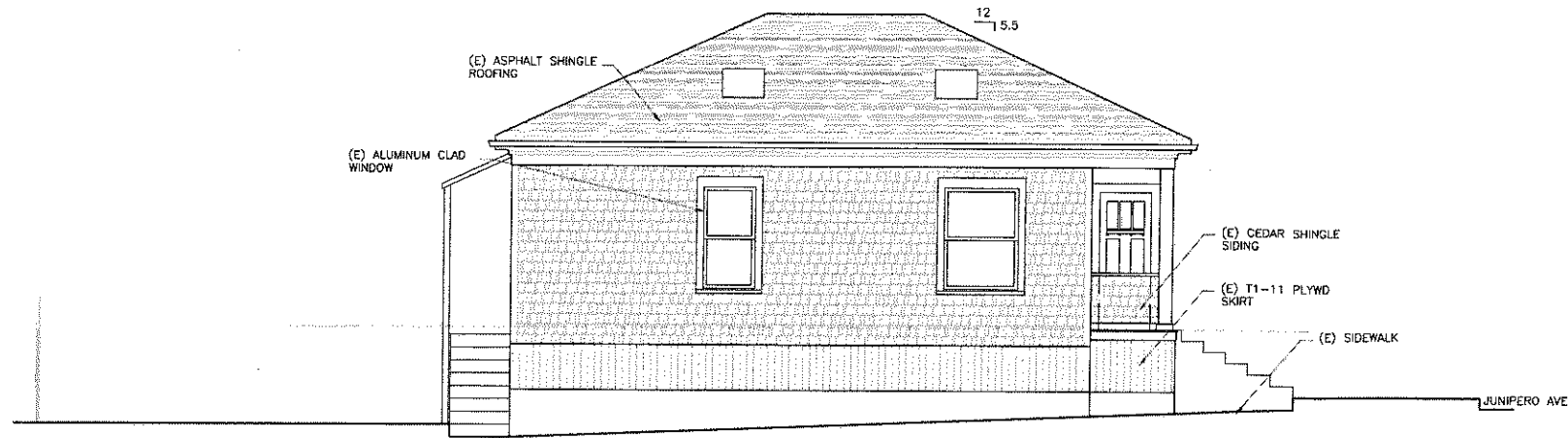
EXISTING & NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"

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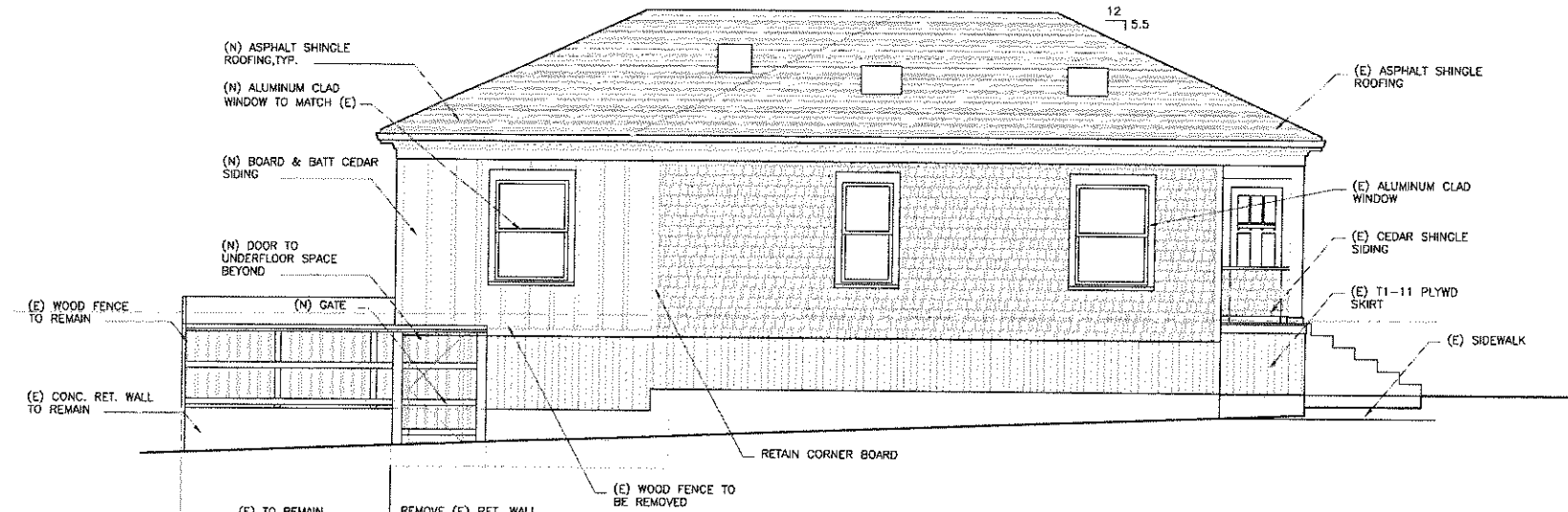


COLORS:

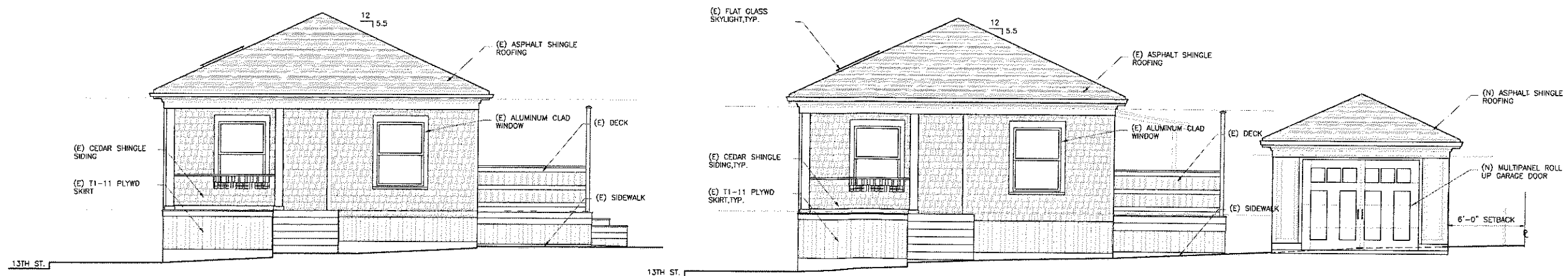
ROOFING: DARK GREY ASPHALT SHINGLES.
 SIDING: NATURAL CEDAR
 TRIM/SKIRT: KELLY MOORE, RETRO AVOCADO
 ACCENTS: KELLY MOORE, PALEPAPYRUS
 WINDOW SASH: (ALUMCLAD) WHITE
 DECK: TREX "ROPE SWING" OR SIMILAR.
 DECK RAILINGS: BROWN



EXISTING SOUTH WEST ELEVATION
 SCALE: 1/4" = 1'-0"



NEW SOUTH WEST ELEVATION
 SCALE: 1/4" = 1'-0"



EXISTING & NEW SOUTH EAST ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT/OWNER
 ADDITION TO
HUBER
RESIDENCE
 472 JUNIPERO AVE.
 PACIFIC GROVE, CA

APN: 006-485-008

DRAWN BY: ca
 PRINT DATE:
 DRAWING DATE: 11-15-2016
 DATE ISSUED FOR CONSTRUCTION:
 REVISIONS:

SHEET TITLE:
EXISTING & NEW ELEVATIONS

SHEET NUMBER:

A-4

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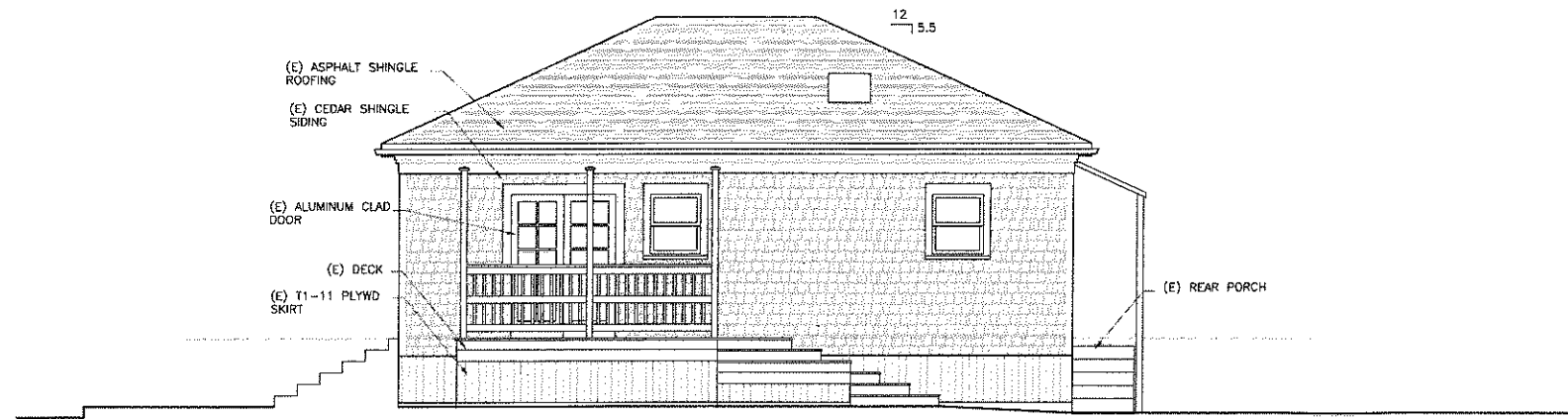
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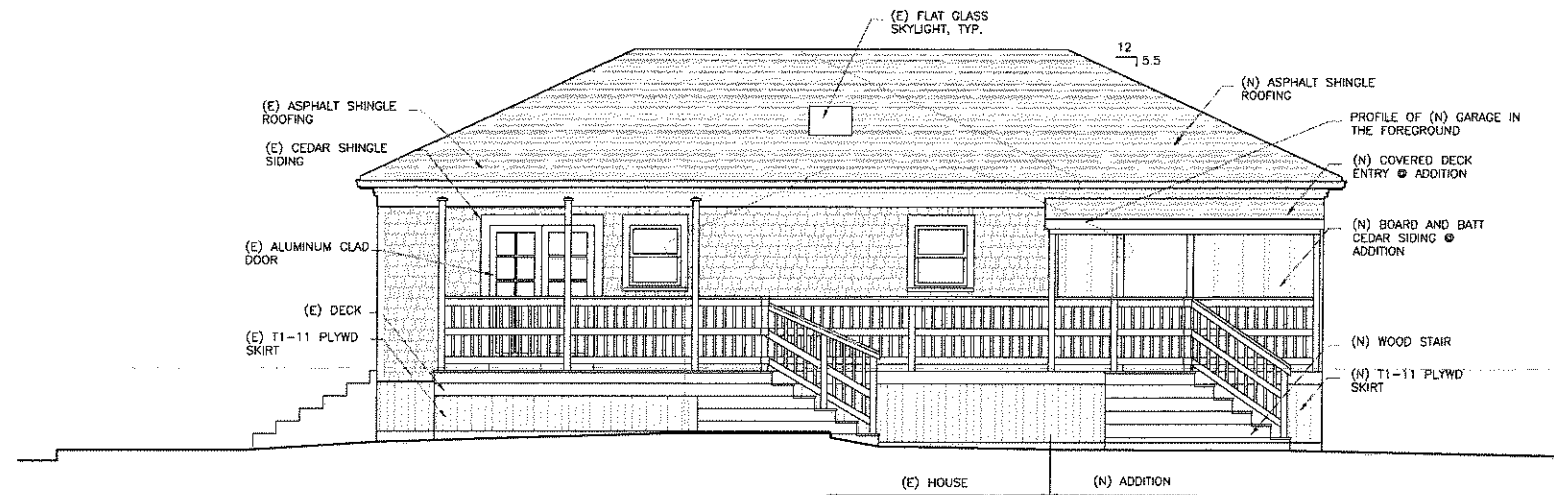
PROJECT OWNER
 ADDITION TO
HUBER
RESIDENCE
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 PACIFIC GROVE, CA

APN: 006-485-008

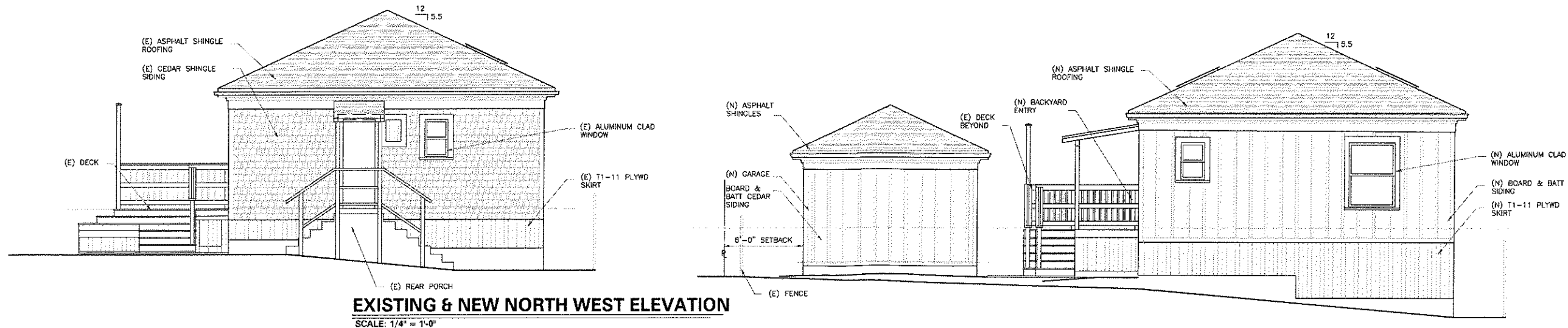
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 DRAWING DATE: 11-15-2016
 DATE ISSUED FOR CONSTRUCTION:
 REVISIONS:



EXISTING NORTH EAST ELEVATION
 SCALE: 1/4" = 1'-0"



NEW NORTH EAST ELEVATION
 SCALE: 1/4" = 1'-0"



EXISTING & NEW NORTH WEST ELEVATION
 SCALE: 1/4" = 1'-0"

SHEET TITLE
**EXISTING &
 NEW
 ELEVATIONS**

SHEET NUMBER:
A-5

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Other trim

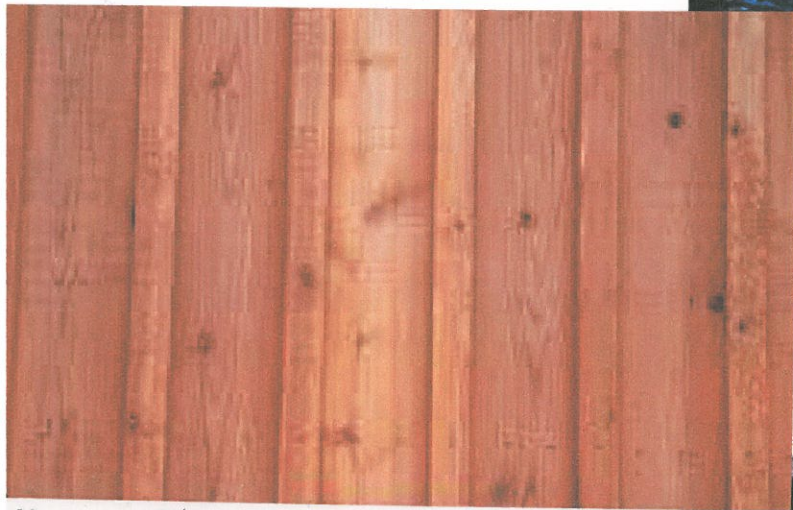
KM3450-1

KM3414-3

Retro Avocado



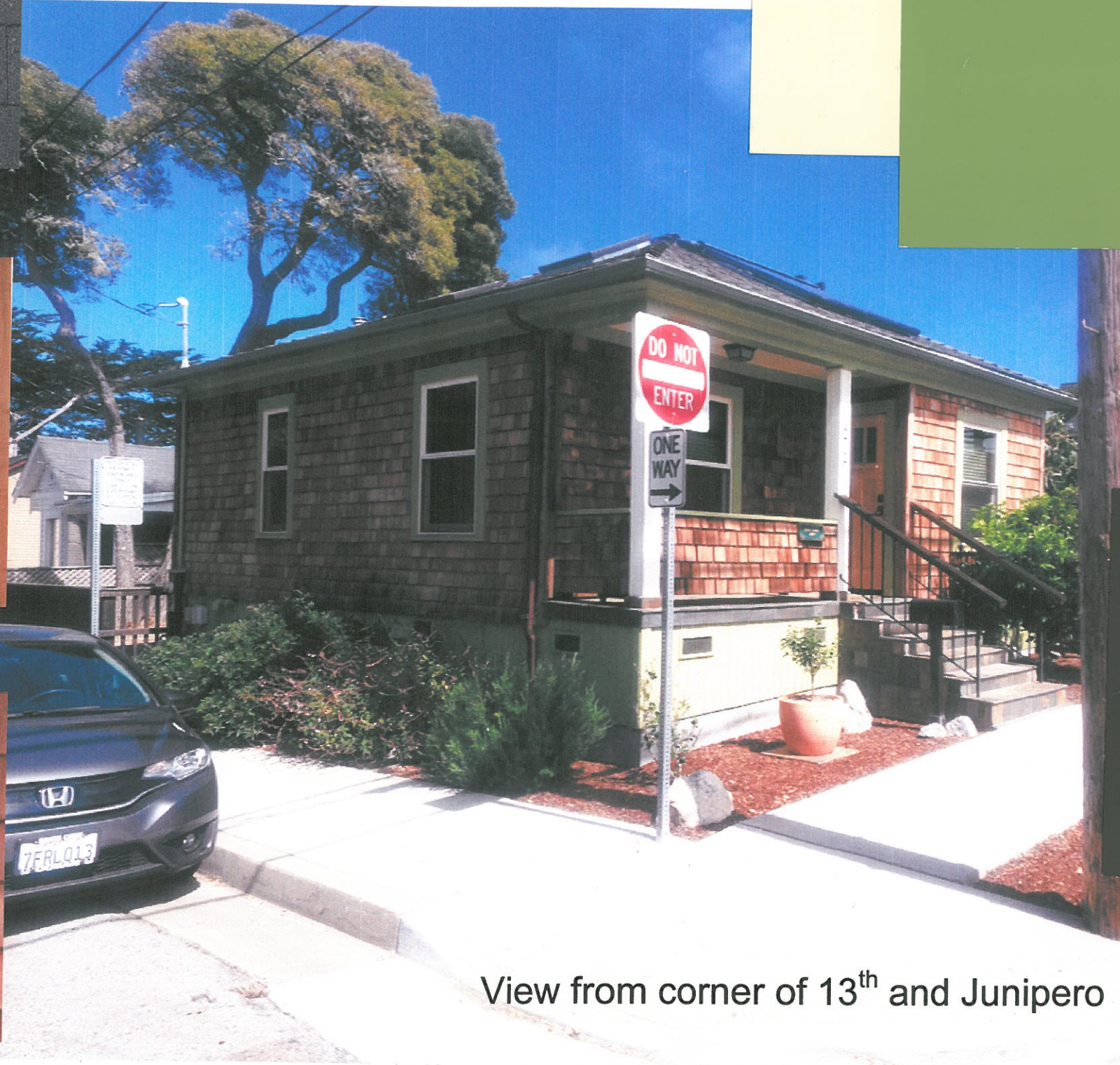
alt roof shingles



ding: Cedar board & batten



g siding: Cedar Shingles



View from corner of 13th and Junipero

Cornice, Skirt and Window Surrou

Painted wood guardrails



Deck surface

KMA67-5
Railroad Ties